

**Site Overview**

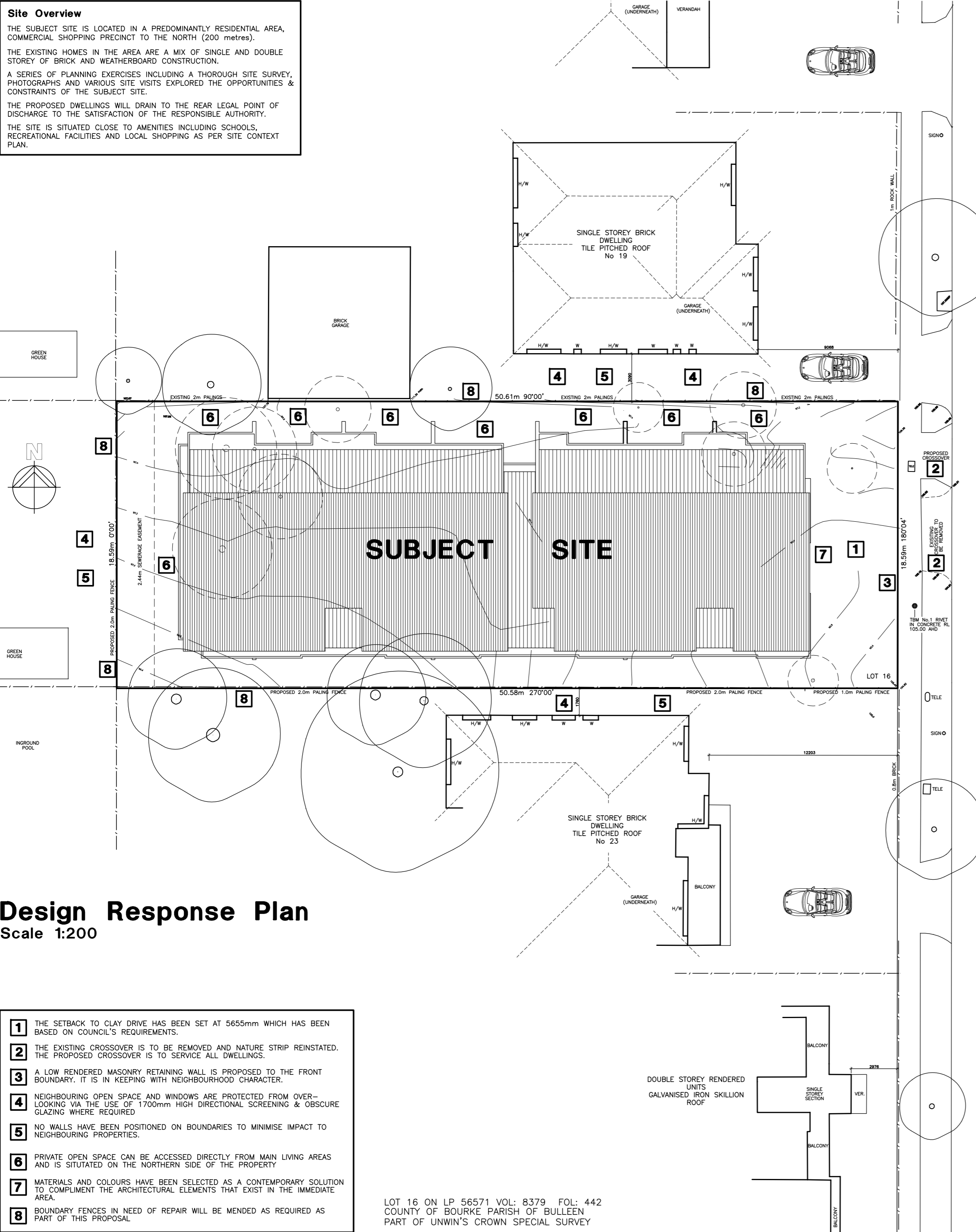
THE SUBJECT SITE IS LOCATED IN A PREDOMINANTLY RESIDENTIAL AREA, COMMERCIAL SHOPPING PRECINCT TO THE NORTH (200 metres).

THE EXISTING HOMES IN THE AREA ARE A MIX OF SINGLE AND DOUBLE STOREY OF BRICK AND WEATHERBOARD CONSTRUCTION.

A SERIES OF PLANNING EXERCISES INCLUDING A THOROUGH SITE SURVEY, PHOTOGRAPHS AND VARIOUS SITE VISITS EXPLORED THE OPPORTUNITIES & CONSTRAINTS OF THE SUBJECT SITE.

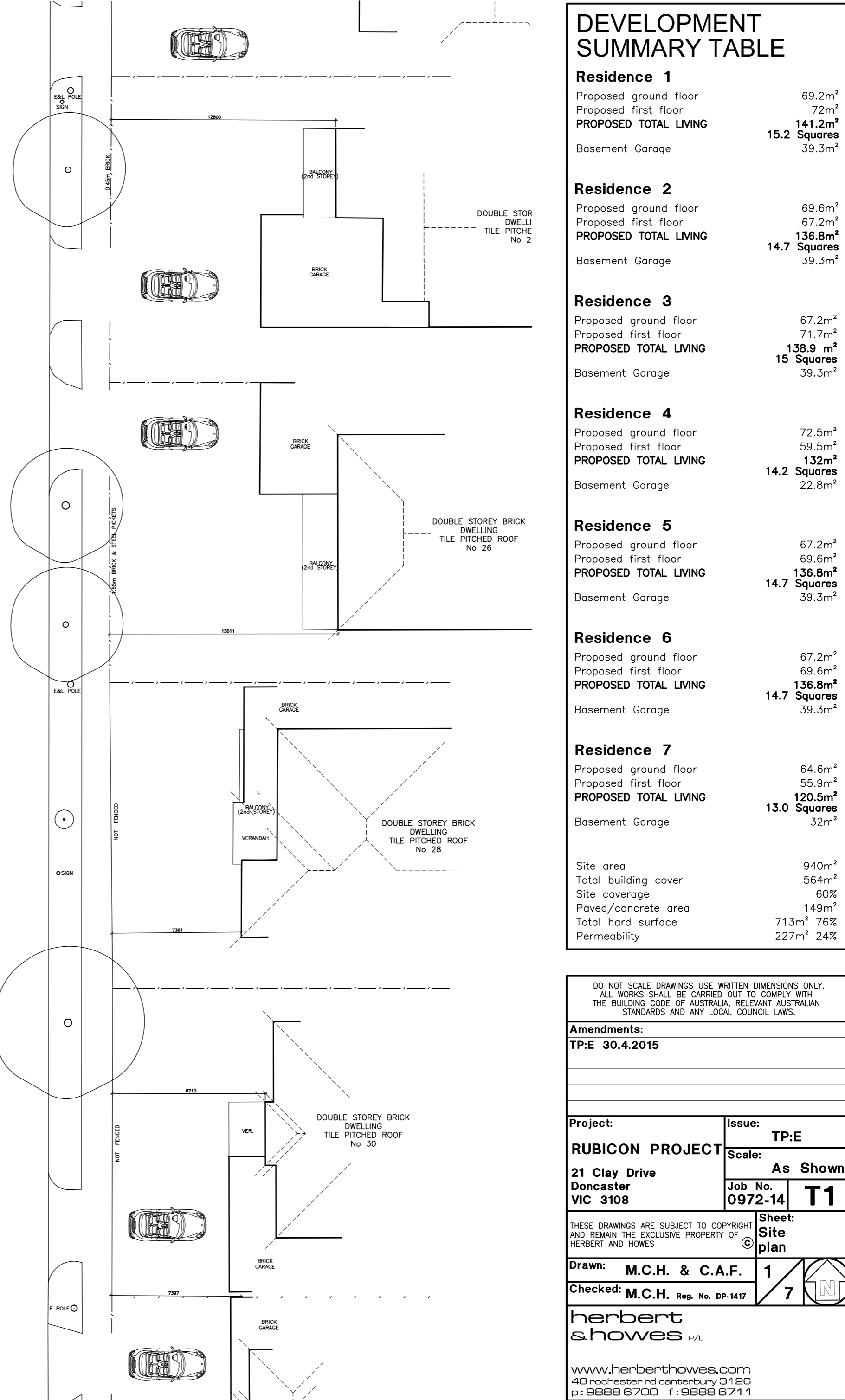
THE PROPOSED DWELLINGS WILL DRAIN TO THE REAR LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

THE SITE IS SITUATED CLOSE TO AMENITIES INCLUDING SCHOOLS, RECREATIONAL FACILITIES AND LOCAL SHOPPING AS PER SITE CONTEXT PLAN.



**CLAY DRIVE**

**DRIVE**



**DEVELOPMENT SUMMARY TABLE**

<b>Residence 1</b>	Proposed ground floor	69.2m <sup>2</sup>
	Proposed first floor	72m <sup>2</sup>
<b>PROPOSED TOTAL LIVING</b>		<b>141.2m<sup>2</sup> Squares</b>
	Basement Garage	39.3m <sup>2</sup>
<b>Residence 2</b>	Proposed ground floor	69.6m <sup>2</sup>
	Proposed first floor	67.2m <sup>2</sup>
<b>PROPOSED TOTAL LIVING</b>		<b>136.8m<sup>2</sup> Squares</b>
	Basement Garage	39.3m <sup>2</sup>
<b>Residence 3</b>	Proposed ground floor	67.2m <sup>2</sup>
	Proposed first floor	71.7m <sup>2</sup>
<b>PROPOSED TOTAL LIVING</b>		<b>138.9 m<sup>2</sup> Squares</b>
	Basement Garage	39.3m <sup>2</sup>
<b>Residence 4</b>	Proposed ground floor	72.5m <sup>2</sup>
	Proposed first floor	59.5m <sup>2</sup>
<b>PROPOSED TOTAL LIVING</b>		<b>132m<sup>2</sup> Squares</b>
	Basement Garage	22.8m <sup>2</sup>
<b>Residence 5</b>	Proposed ground floor	67.2m <sup>2</sup>
	Proposed first floor	69.6m <sup>2</sup>
<b>PROPOSED TOTAL LIVING</b>		<b>136.8m<sup>2</sup> Squares</b>
	Basement Garage	39.3m <sup>2</sup>
<b>Residence 6</b>	Proposed ground floor	67.2m <sup>2</sup>
	Proposed first floor	69.6m <sup>2</sup>
<b>PROPOSED TOTAL LIVING</b>		<b>136.8m<sup>2</sup> Squares</b>
	Basement Garage	39.3m <sup>2</sup>
<b>Residence 7</b>	Proposed ground floor	64.6m <sup>2</sup>
	Proposed first floor	55.9m <sup>2</sup>
<b>PROPOSED TOTAL LIVING</b>		<b>120.5m<sup>2</sup> Squares</b>
	Basement Garage	32m <sup>2</sup>
Site area		940m <sup>2</sup>
Total building cover		564m <sup>2</sup>
Site coverage		60%
Paved/concrete area		149m <sup>2</sup>
Total hard surface		713m <sup>2</sup> 76%
Permeability		227m <sup>2</sup> 24%

DO NOT SCALE DRAWINGS USE WRITTEN DIMENSIONS ONLY. ALL WORKS SHALL BE CARRIED OUT TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND ANY LOCAL COUNCIL LAWS.

**Design Response Plan**  
Scale 1:200

- THE SETBACK TO CLAY DRIVE HAS BEEN SET AT 5655mm WHICH HAS BEEN BASED ON COUNCIL'S REQUIREMENTS.
- THE EXISTING CROSSOVER IS TO BE REMOVED AND NATURE STRIP REINSTATED. THE PROPOSED CROSSOVER IS TO SERVICE ALL DWELLINGS.
- A LOW RENDERED MASONRY RETAINING WALL IS PROPOSED TO THE FRONT BOUNDARY. IT IS IN KEEPING WITH NEIGHBOURHOOD CHARACTER.
- NEIGHBOURING OPEN SPACE AND WINDOWS ARE PROTECTED FROM OVER-LOOKING VIA THE USE OF 1700mm HIGH DIRECTIONAL SCREENING & OBSCURE GLAZING WHERE REQUIRED
- NO WALLS HAVE BEEN POSITIONED ON BOUNDARIES TO MINIMISE IMPACT TO NEIGHBOURING PROPERTIES.
- PRIVATE OPEN SPACE CAN BE ACCESSED DIRECTLY FROM MAIN LIVING AREAS AND IS SITUATED ON THE NORTHERN SIDE OF THE PROPERTY
- MATERIALS AND COLOURS HAVE BEEN SELECTED AS A CONTEMPORARY SOLUTION TO COMPLIMENT THE ARCHITECTURAL ELEMENTS THAT EXIST IN THE IMMEDIATE AREA.
- BOUNDARY FENCES IN NEED OF REPAIR WILL BE MENDED AS REQUIRED AS PART OF THIS PROPOSAL

LOT 16 ON LP 56571 VOL: 8379 FOL: 442  
COUNTY OF BOURKE PARISH OF BULLEEN  
PART OF UNWIN'S CROWN SPECIAL SURVEY

**Amendments:**  
TP:E 30.4.2015

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**Project:** RUBICON PROJECT  
**21 Clay Drive**  
**Doncaster VIC 3108**

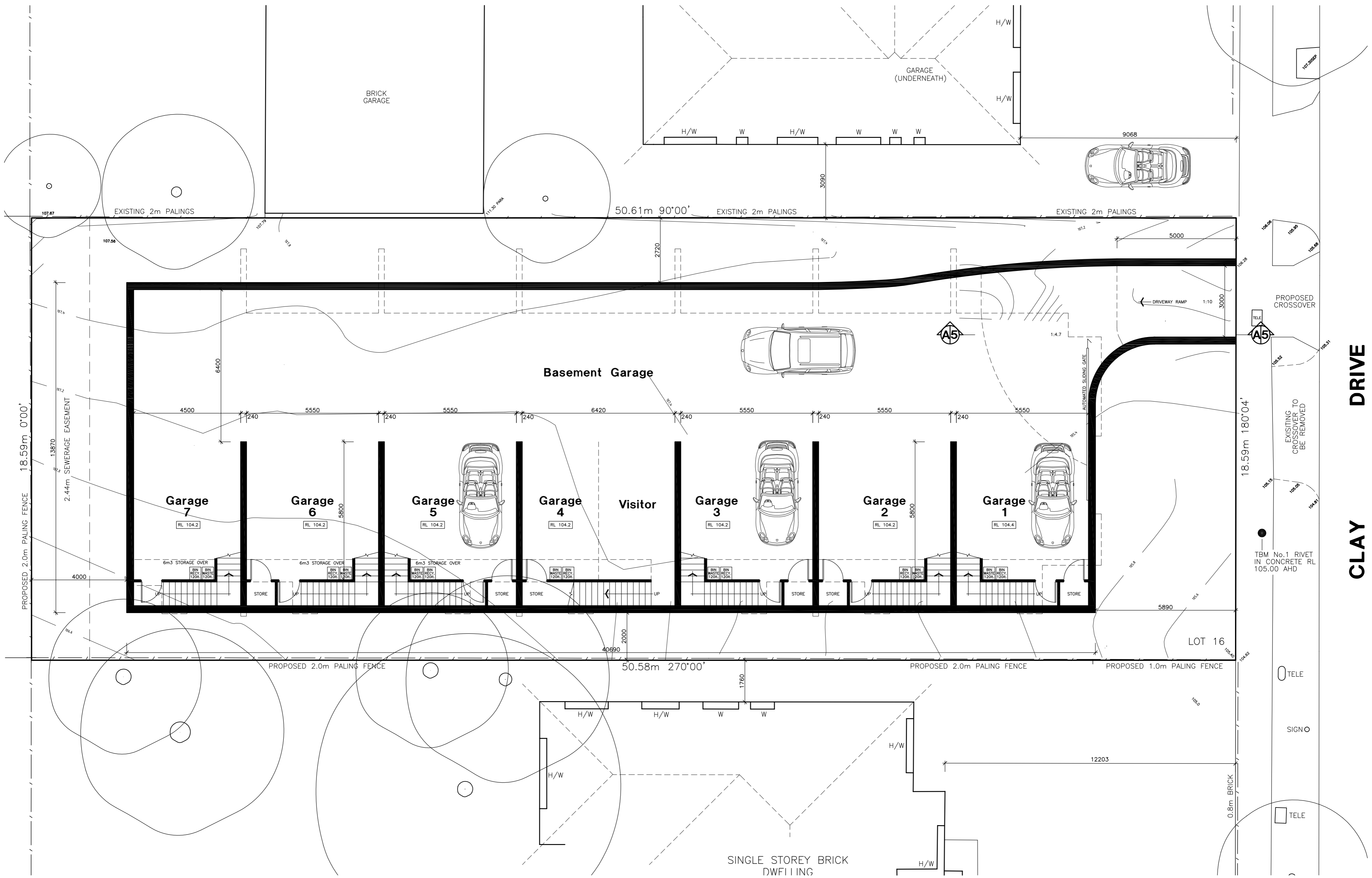
**Issue:** TP:E  
**Scale:** As Shown  
**Job No.** 0972-14  
**T1**

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**Drawn:** M.C.H. & C.A.F. **1**  
**Checked:** M.C.H. Reg. No. DP-1417 **7**

**Sheet:** Site plan

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48 rochester rd canterbury 3126  
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# Proposed Basement Floor Plan

Scale 1:100

Do not scale drawings, use written dimensions only. All works shall be carried out to comply with the building code of Australia, relevant Australian standards & any local council laws.	<b>Amendments:</b> TP:E 30.4.2015	THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND REMAIN THE EXCLUSIVE PROPERTY OF HERBERT AND HOWES	<b>Sheet:</b> Basement floor plan	<b>Project:</b> RUBICON PROJECT 21 Clay Drive Doncaster VIC 3108	<b>Issue:</b> TP:E	<b>herbert &amp; howes</b> P/L www.herberthowes.com 48 rochester rd cantonbury 3128 p: 9888 6700 f: 9888 6711
	<b>Drawn:</b> M.C.H. & C.A.F.		2		<b>Scale:</b> As Shown	
	<b>Checked:</b> M.C.H. Reg. No. DP-1417		7		<b>Job No.:</b> 0972-14 <b>T2</b>	



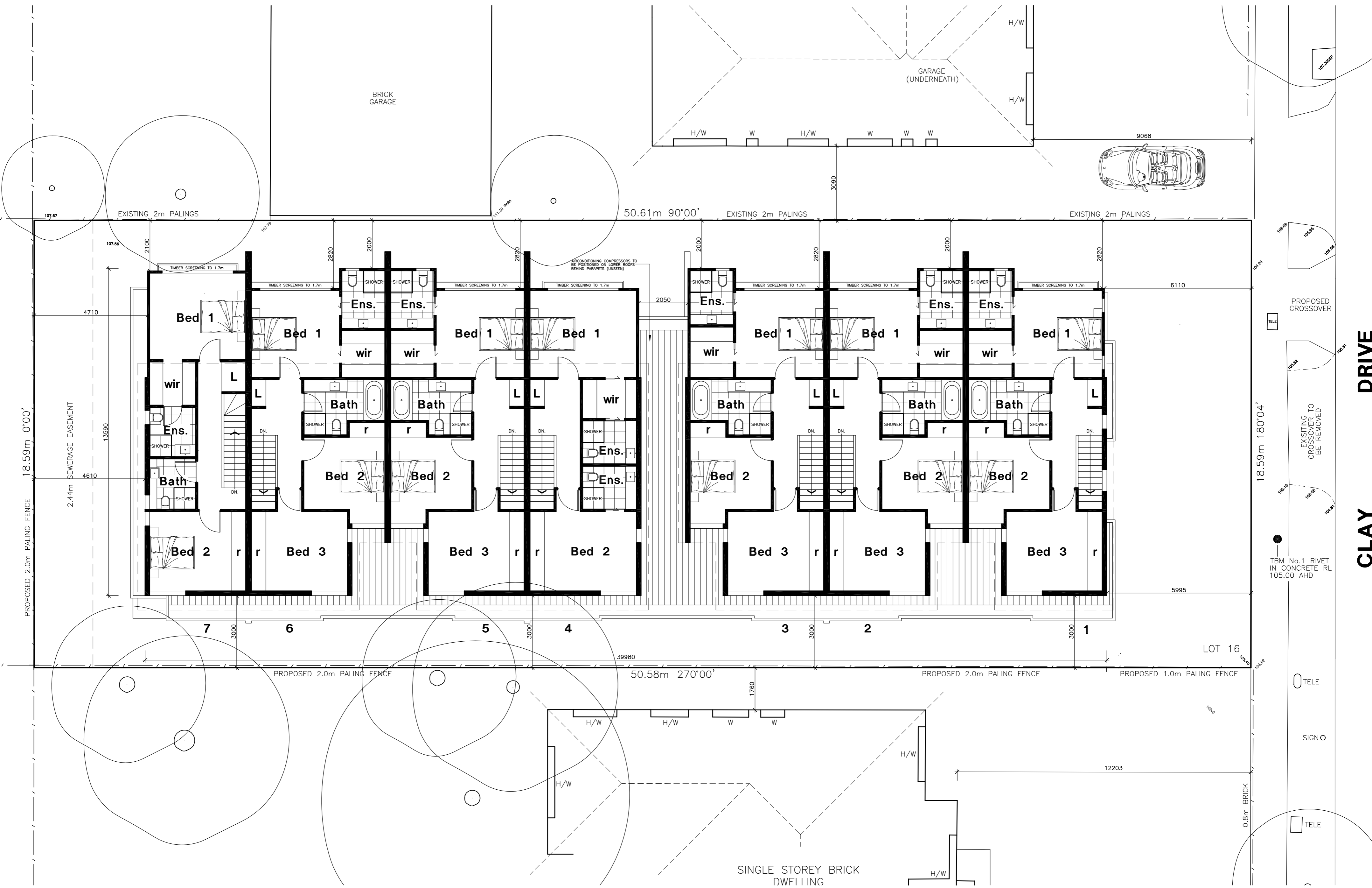
# Proposed Ground Floor Plans

Scale 1:100

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	<b>Drawn:</b> M.C.H. & C.A.F.		<b>3</b>		<b>Scale:</b> As Shown	
	<b>Checked:</b> M.C.H. Reg. No. DP-1417		<b>7</b>		<b>Job No.:</b> 0972-14 <b>T3</b>	

# Proposed First Floor Plans

Scale 1:100



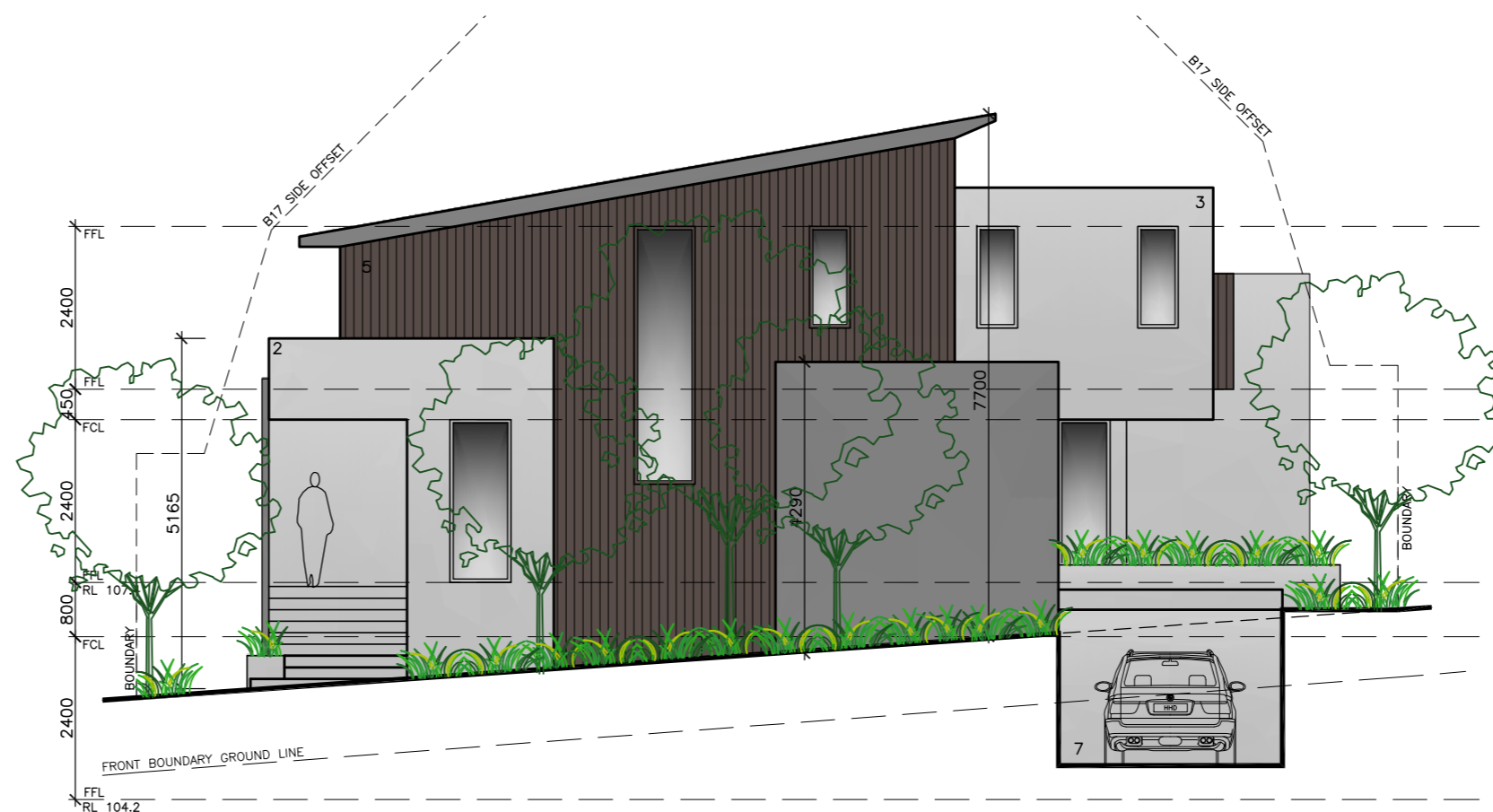
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	<b>Drawn:</b> M.C.H. & C.A.F.		4		<b>Scale:</b> As Shown	
	<b>Checked:</b> M.C.H. Reg. No. DP-1417		7		<b>Job No.:</b> 0972-14	



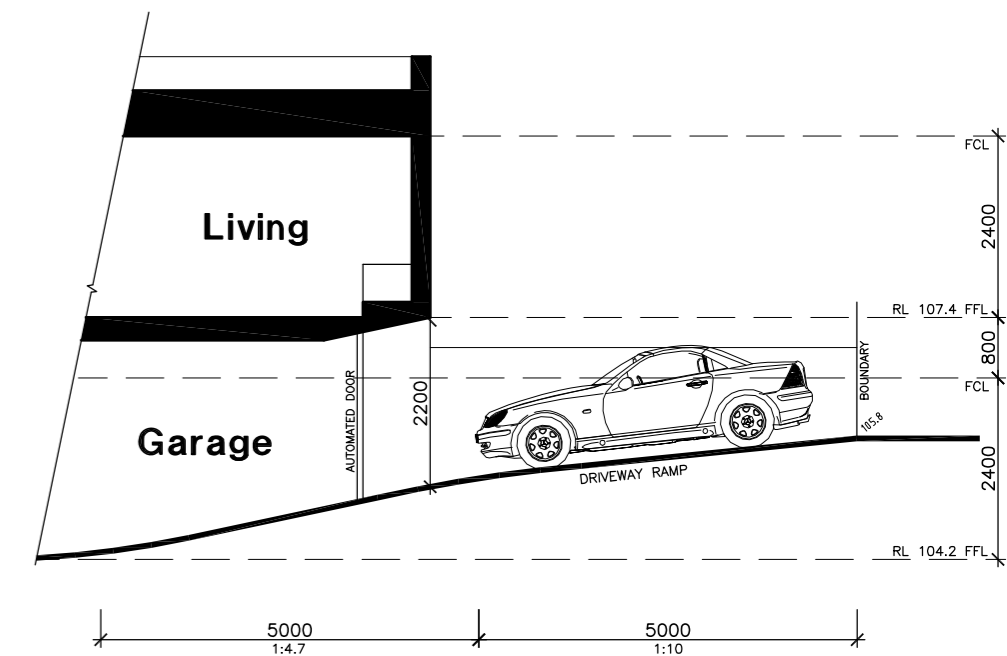
**South Elevation**  
SCALE 1:100



**West Elevation**  
SCALE 1:100



**East Elevation**  
SCALE 1:100



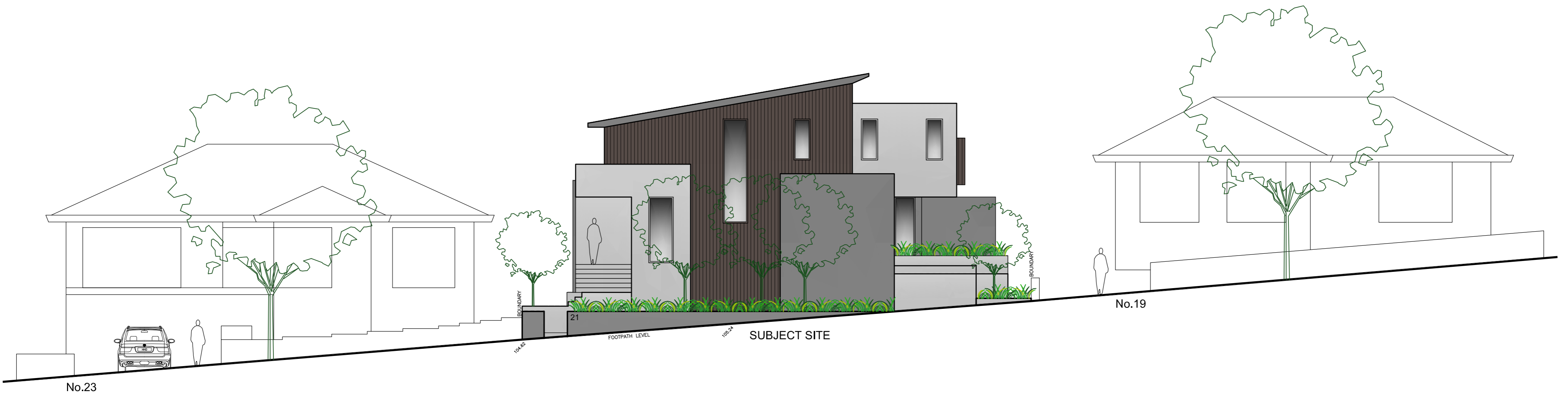
**Section A-2**  
Scale 1:100

FINISHES SCHEDULE		COLOURS
ROOFING	1 Roof deck & sheeting	Colorband Wallaby
EXTERNAL WALLS	2 Coloured cement render over masonry walls	Colorband Wallaby
	3 Coloured cement render over lightweight walls	Colorband Surfmist
	4 Stained timber privacy screens	Black ash stained cedar
	5 Timber 'Shadowclad' cladding	Ash Brown
WINDOWS	6 400 Series powdercoated aluminium casement windows	Black metallic
GARAGE DOORS	7 Colourband panel lift doors	Colorband Wallaby

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	<b>Drawn:</b> M.C.H. & C.A.F.		5/7		<b>Scale:</b> As Shown	
	<b>Checked:</b> M.C.H. Reg. No. DP-1417				<b>Job No.:</b> 0972-14	



**North Elevation**  
SCALE 1:100



**Proposed Streetscape**  
SCALE 1:100

FINISHES SCHEDULE		COLOURS
ROOFING	1 Roof deck & sheeting	Colorband Wallaby
EXTERNAL WALLS	2 Coloured cement render over masonry walls	Colorband Wallaby
	3 Coloured cement render over lightweight walls	Colorband Surfmist
	4 Stained timber privacy screens	Black ash stained cedar
	5 Timber 'Shadowclad' cladding	Ash Brown
WINDOWS	6 400 Series powdercoated aluminium casement windows	Black metallic
GARAGE DOORS	7 Colourband panel lift doors	Colorband Wallaby

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	TP:E 30.4.2015		<b>Proposed elevations</b>		<b>RUBICON PROJECT</b>		TP:E
			6/7		21 Clay Drive Doncaster VIC 3108		Scale: As Shown
	<b>Drawn:</b> M.C.H. & C.A.F.				Job No. 0972-14	<b>T6</b>	
	<b>Checked:</b> M.C.H. Reg. No. DP-1417						

